

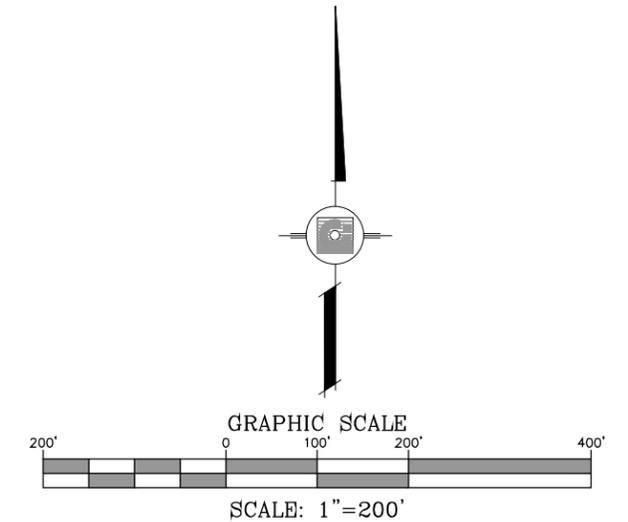


SMART CODE APPLICATION
 EL PASO, TEXAS CODE OF ORDINANCES
 TITLE 21 APPLICATION.

MONTECILLO ESTATES
 UNIT 3 - SENIOR HOUSING

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LEGEND:

PROJECT BOUNDARY - - - - -

PAGE 1



CONDE INC.
 REGISTRATION No. F-2321
 ENGINEERING / PLANNING
 SURVEYING / GPS
 6080 SURETY DR. STE 100
 EL PASO, TEXAS 79906
 PH. # 692-0283 FAX # 692-0286

NOVEMBER 9, 2011

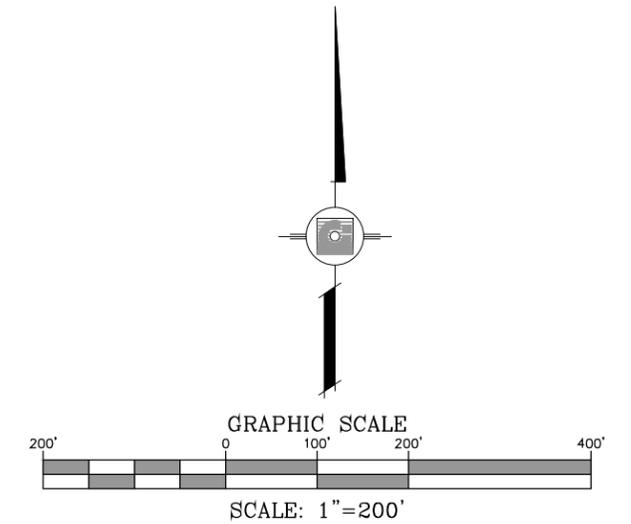


AERIAL

AN AERIAL OF MONTECILLO ESTATES UNIT 3-SENIOR HOUSING LOCATION IS SITUATED ABUTTING EXISTING RESIDENTIAL, OFFICE AND MEDICAL USES.

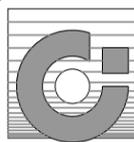
LINE TABLE		
LINE	LENGTH	BEARING
L1	102.353	N79°38'51.50"W
L2	25.000	N59°21'15.68"W
L3	60.783	N61°35'02.37"W

CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	668.00'	236.60'	119.55'	235.36'	N69°30'04"W	20°17'36"

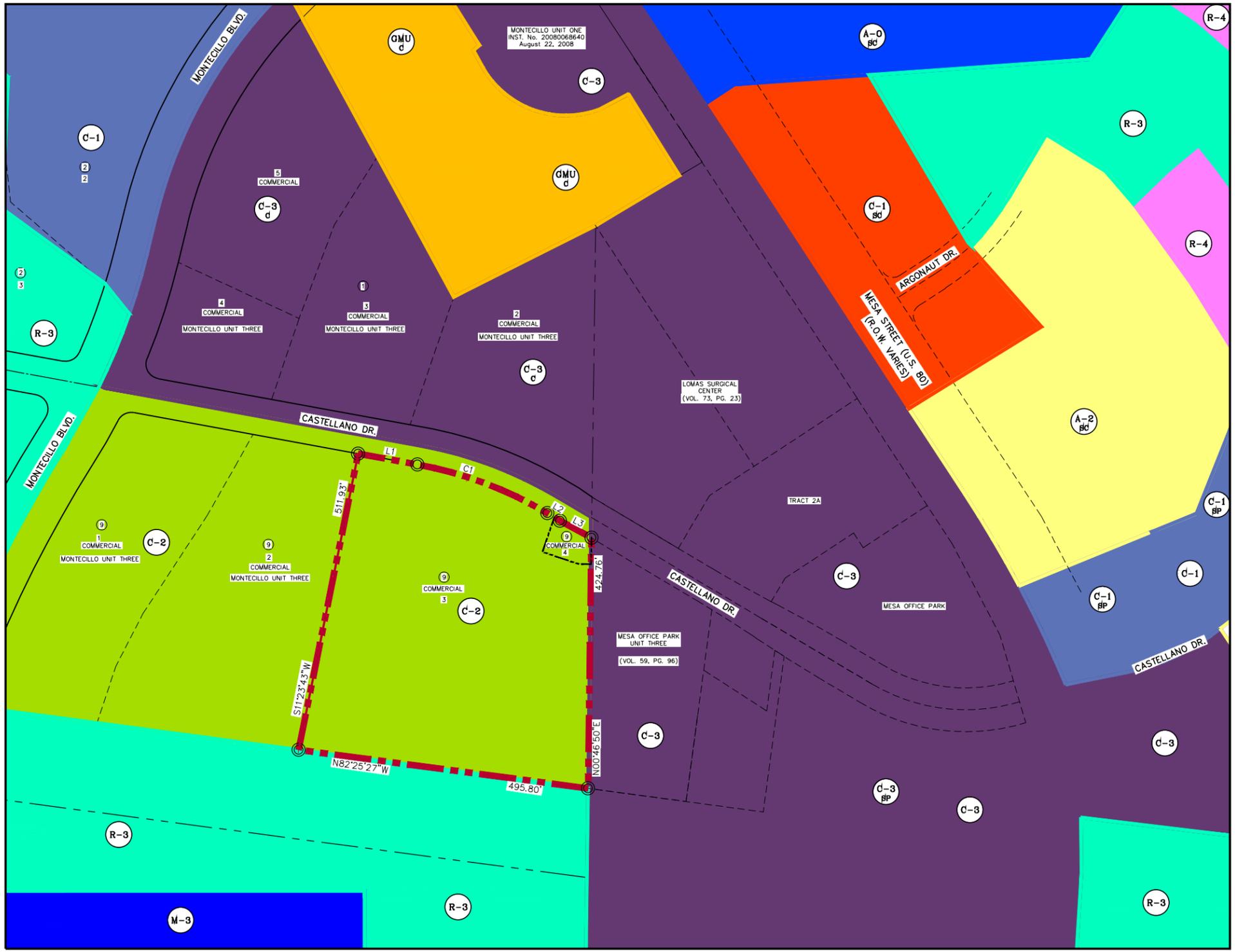


LEGEND:

PROJECT BOUNDARY - - - - -



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ZONING MAP

THE ZONING FOR THE PROPERTY IS CURRENTLY C-2

■ PER SECTION 21.10.040 (B)(1)

THE LEGAL DESCRIPTION FOR MONTECILLO ESTATES UNIT 3 – SENIOR HOUSING IS BEING LOTS 3 AND 4, BLOCK 9, MONTECILLO UNIT 3 REPLAT-A.

LEGEND:

PROJECT BOUNDARY



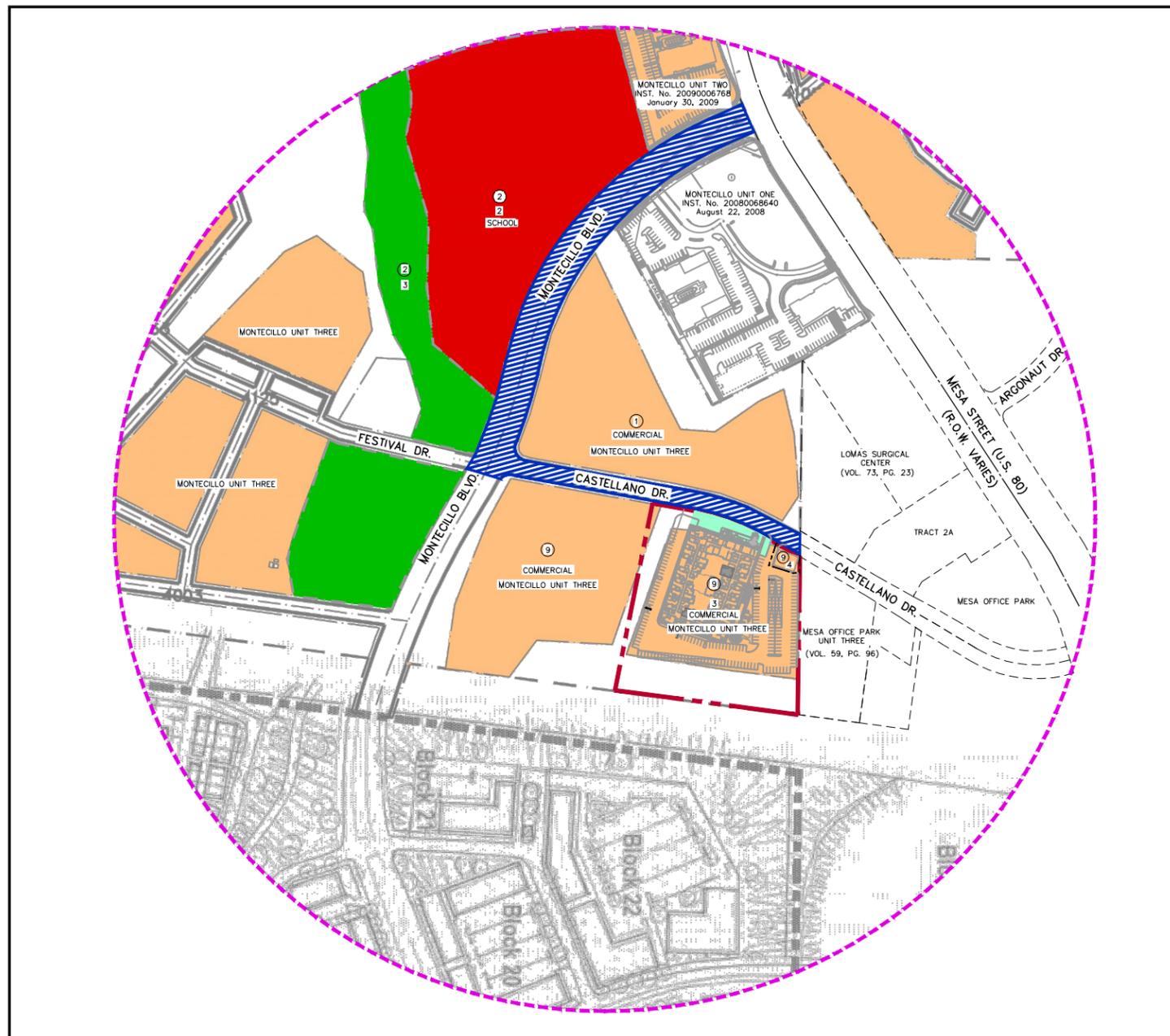
SCALE: 1"=200'

PAGE 3



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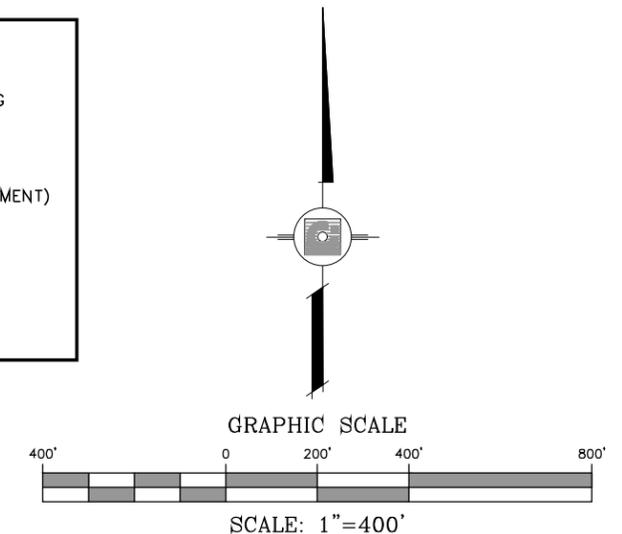
JANUARY 23, 2012



PROJECT SIZE & BOUNDARY

- IDENTIFY APPLICATION TYPE (SEE BELOW)
- IDENTIFY PEDESTRIAN SHED(S)
(PEDESTRIAN SHED REQUIREMENTS FOR INFILL TND ARE SET FORTH IN SECTION 21.40.020)
- IDENTIFY COMMUNITY TYPE (SEE BELOW)
- IDENTIFY PROJECT BOUNDARIES BASED ON PEDESTRIAN SHED.
- SPECIAL DISTRICTS: NONE
- IDENTIFY CIVIC ZONE AS SET FORTH IN SECTION 21.40.040
- PRIVATE FRONTAGE AS SET FORTH IN SECTION 21.20, TABLE 7C

PROJECT DATA	
PROJECT NAME:	MONTECILLO ESTATES UNIT 3-SENIOR HOUSING
APPLICATION TYPE:	INFILL COMMUNITY
COMMUNITY TYPE:	INFILL TND (TRADITIONAL NEIGHBORHOOD DEVELOPMENT)
TOTAL SITE AREA:	5.00 ACRES
NET SITE AREA:	5.00 ACRES
PEDESTRIAN SHEDS:	1 PEDESTRIAN SHED



LEGEND:

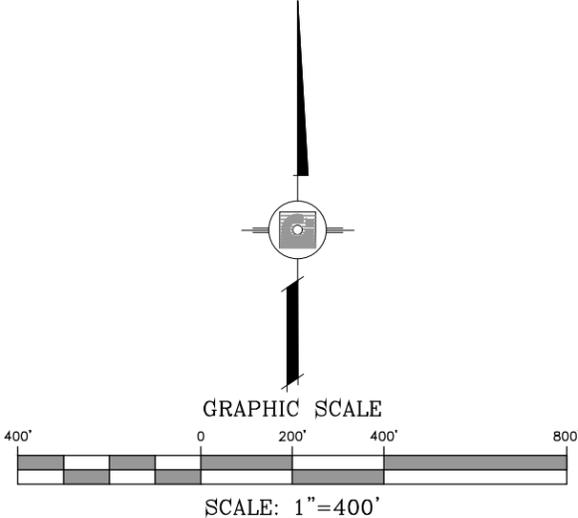
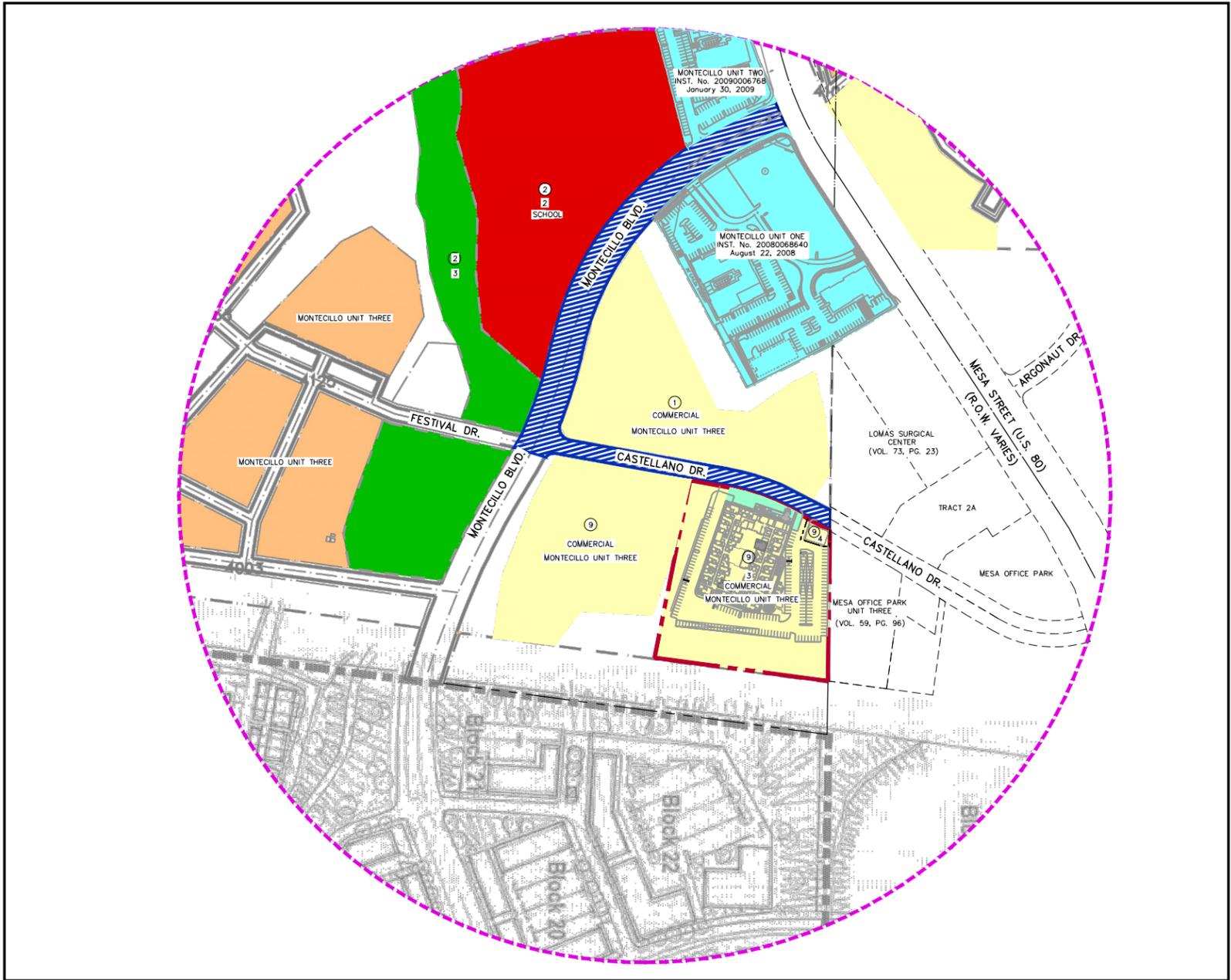
- PROJECT BOUNDARY
- PEDESTRIAN SHED BOUNDARY
- CIVIC SPACE (PARK)
- CIVIC BUILDING (SCHOOL)
- PRIVATE FRONTAGE (TERRACE)
- EXISTING STREETS

PAGE 4

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TRANSECT ZONE ALLOCATION: T40

- COMPLIANCE WITH TRANSECT ZONE ALLOCATION REQUIREMENTS AS SET FORTH IN SECTION 21.40.030.
- COMPLIANCE WITH FRONTAGE BUILDOUT FOR T40 TO BE 80% MINIMUM AS SET FORTH IN SECTION 21.80 (TABLE 14: SUMMARY TABLE). CALCULATION AS FOLLOWS:
 - a.) PRINCIPAL BUILDING LOT FRONTAGE WIDTH = 424.73' LESS SLOPE & EASEMENT OF 122.10' = 302.63', LESS FUTURE BUILDING LOT OF 72' = 230.63' NET LOT FRONTAGE PRINCIPAL. BUILDING = 184.50' DIVIDED BY LOT FRONTAGE = 80%.
 - b.) FUTURE BUILDING LOT FRONTAGE WIDTH = 72' FUTURE BUILDING = 57.60' DIVIDED BY LOT FRONTAGE = 80%.

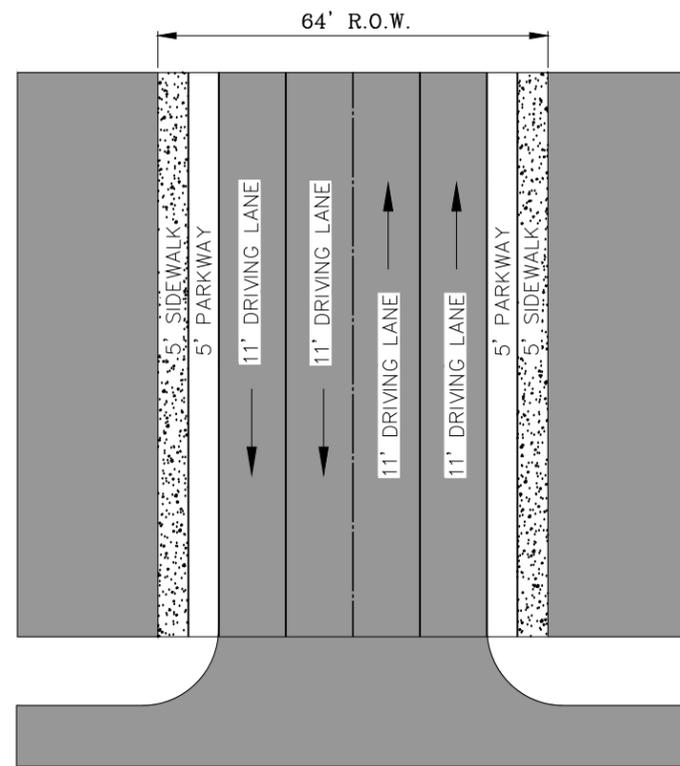


- LEGEND:
- PROJECT BOUNDARY 
 - PEDESTRIAN SHED BOUNDARY 
 - T40 GENERAL URBAN 
 - T5 URBAN CENTER ZONE 
 - GMU 
 - CIVIC SPACE (PARK) 
 - CIVIC BUILDING (SCHOOL) 
 - PRIVATE FRONTAGE (TERRACE) 
 - EXISTING STREETS 



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DECEMBER 6, 2011



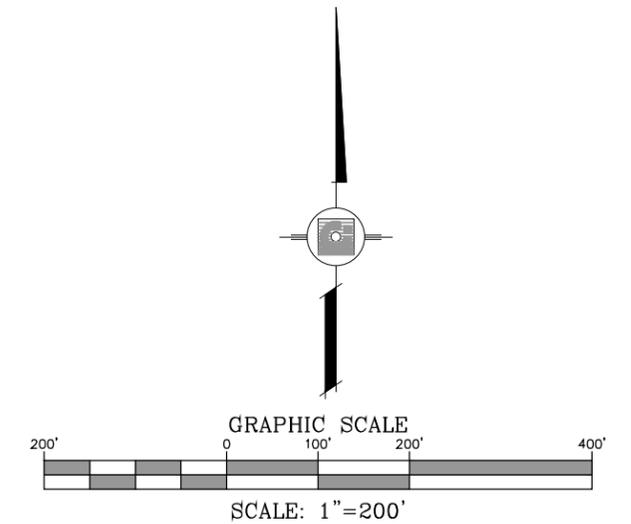
EXISTING 64' COLLECTOR ARTERIAL

THOROUGHFARE ASSIGNMENTS (N/A)

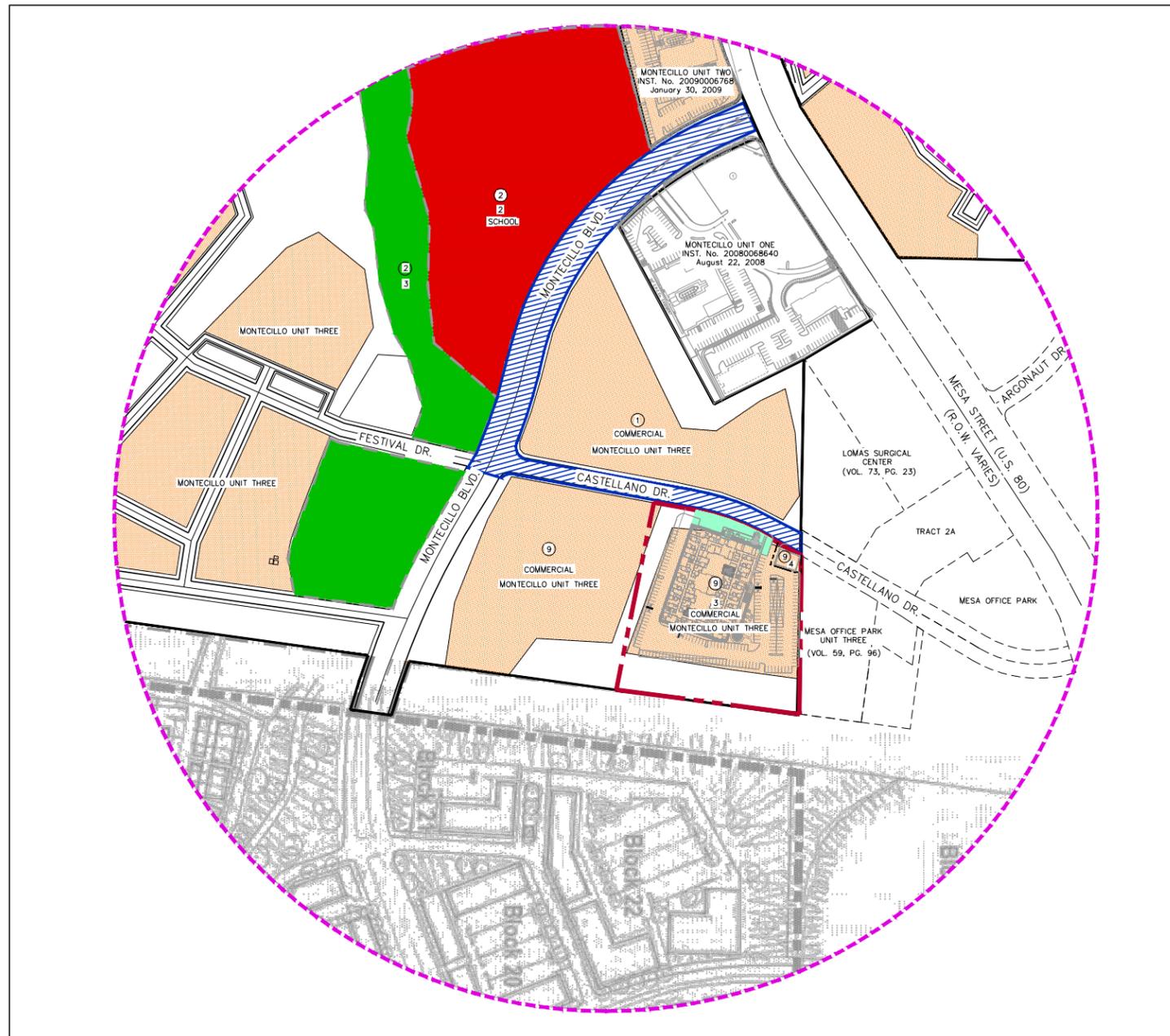
NOTES:

PAVEMENT WIDTH INCLUDES CURB AND GUTTER WHERE PRESENTED, AND IS MEASURED FROM FACE OF CURB TO FACE OF CURB.

- EXISTING COLLECTOR ARTERIAL (PLATTED WITHIN MONTECILLO ESTATES UNIT 3)



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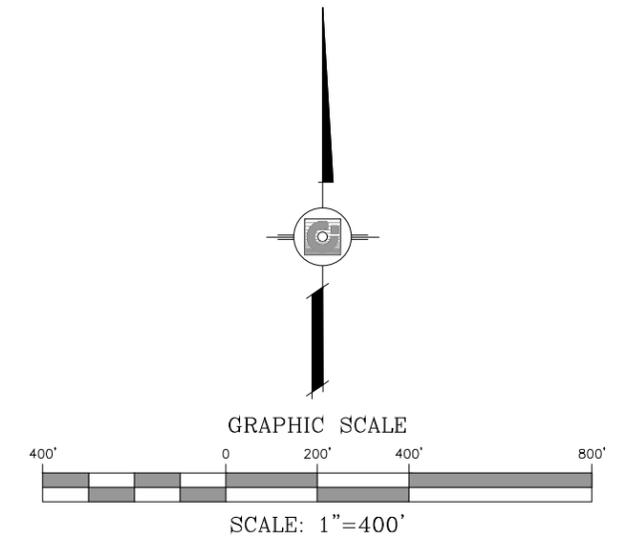


WARRANT & VARIANCE REQUESTS

NOTES:

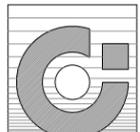
THE APPLICATION IS COMPLIANT WITH CHAPTER 21 PENDING THE FOLLOWING WARRANT AND VARIANCES.

- VARIANCE REQUEST FOR REQUIRED FRONT SETBACK 0' TO 12' MAXIMUM AS SET FORTH IN SECTION 21.80.030, SUMMARY TABLE 14. VARIANCE FOR THE FRONT SETBACK TO BE NO MORE THAN 45' DUE TO TOPOGRAPHIC (25% TO 40% SLOPES) CONSTRAINTS PER TITLE 21.10.050.



LEGEND:

- PROJECT BOUNDARY 
- PEDESTRIAN SHED BOUNDARY 
- CIVIC SPACE (PARK) 
- CIVIC BUILDING (SCHOOL) 
- PRIVATE FRONTAGE (TERRACE) 
- EXISTING STREETS 



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