

Illustrative rendering of one potential future for the former ASARCO plant site.

SMARTCODE APPLICATION

EL PASO, TEXAS CODE OF ORDINANCES
TITLE 21 APPLICATION

ASARCO WEST

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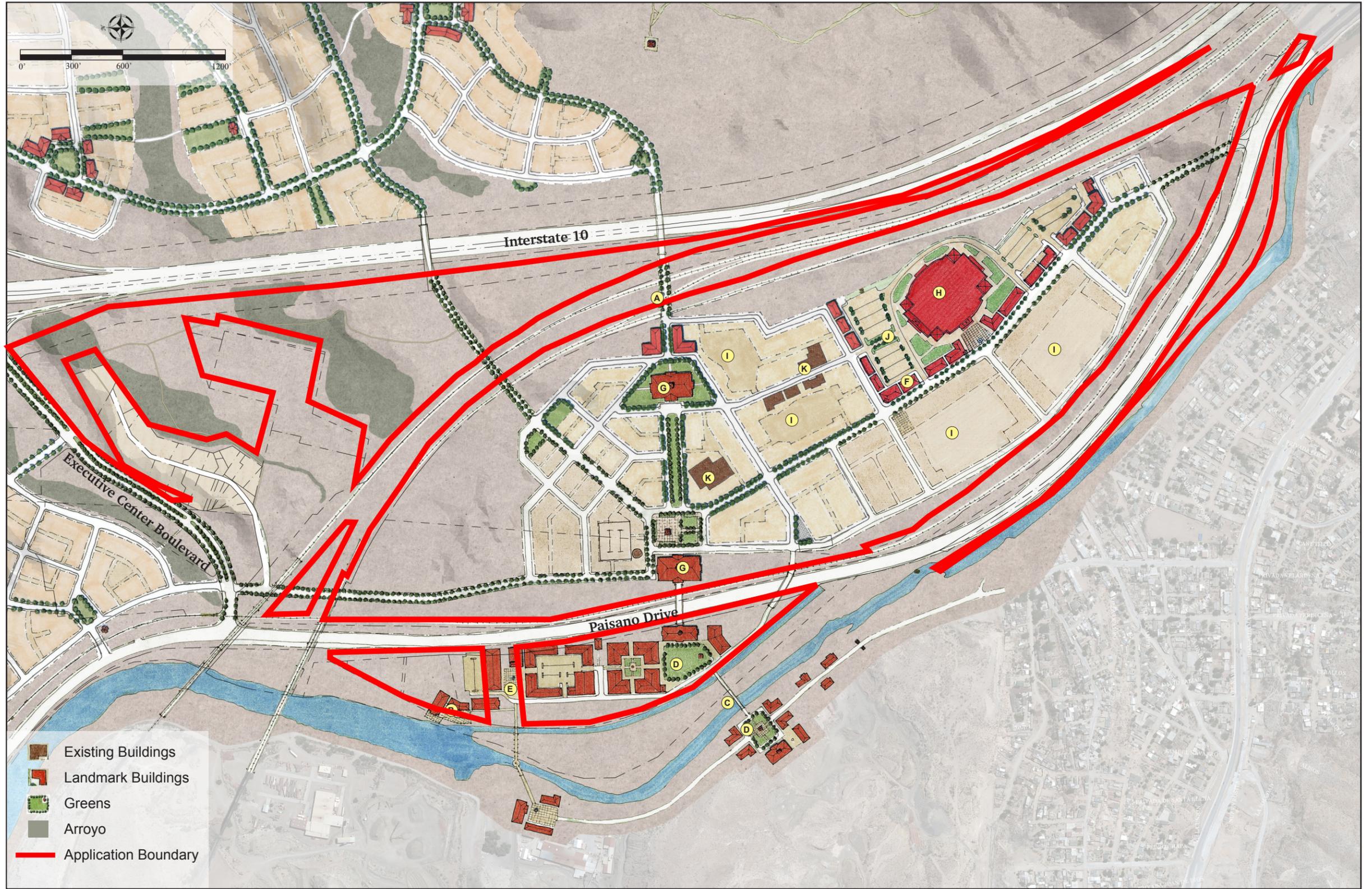
ILLUSTRATIVE PLAN

While environmental constraints at the ASARCO West site prevent neighborhood development the area still provides many industrial and commercial opportunities for future growth. The site's proximity to Downtown and its sheer size make it an ideal location for large-scale projects.

The current environmental cleanup standard for the site is Commercial/Industrial. Although this does not preclude enhanced cleanup activities in the future this standard does not allow the following from being built on the site: schools, day-care facilities, extended care facilities, all residential uses and hospitals. The application details the warrant requested to prohibit these uses.

General Recommendations

- A** Opportunities to better connect the ASARCO site with surrounding properties
- B** A waterfront park provides passive recreational space along the river
- C** A long term strategy could include a monumental, pedestrian bridge connecting El Paso and Juarez
- D** Two parallel parks on either side of the bridge serve as future pedestrian gateways into the communities
- E** An cross-border international area may one day be possible.
- F** Building façades address the street
- G** Civic buildings front greens and terminate vistas
- H** Specialized uses such as a stadium, industrial building or regional recreational destination can be accommodated within a framework of interconnected streets and blocks
- I** Containment cells are used as parking lots; parking is placed mid-block; and liner buildings define the street edge
- J** A large block is designed to accommodate regional facilities
- K** Historic buildings are preserved



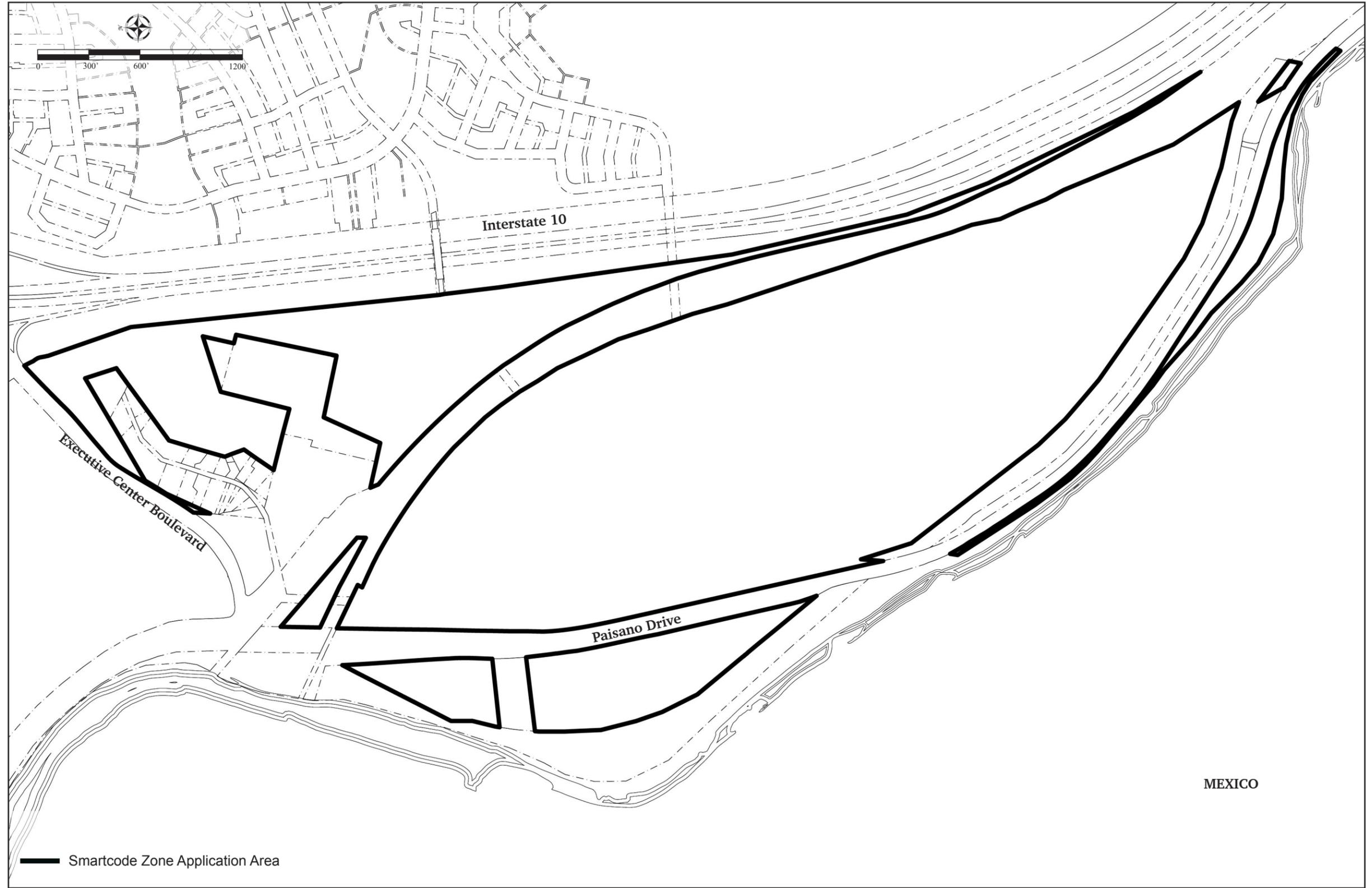


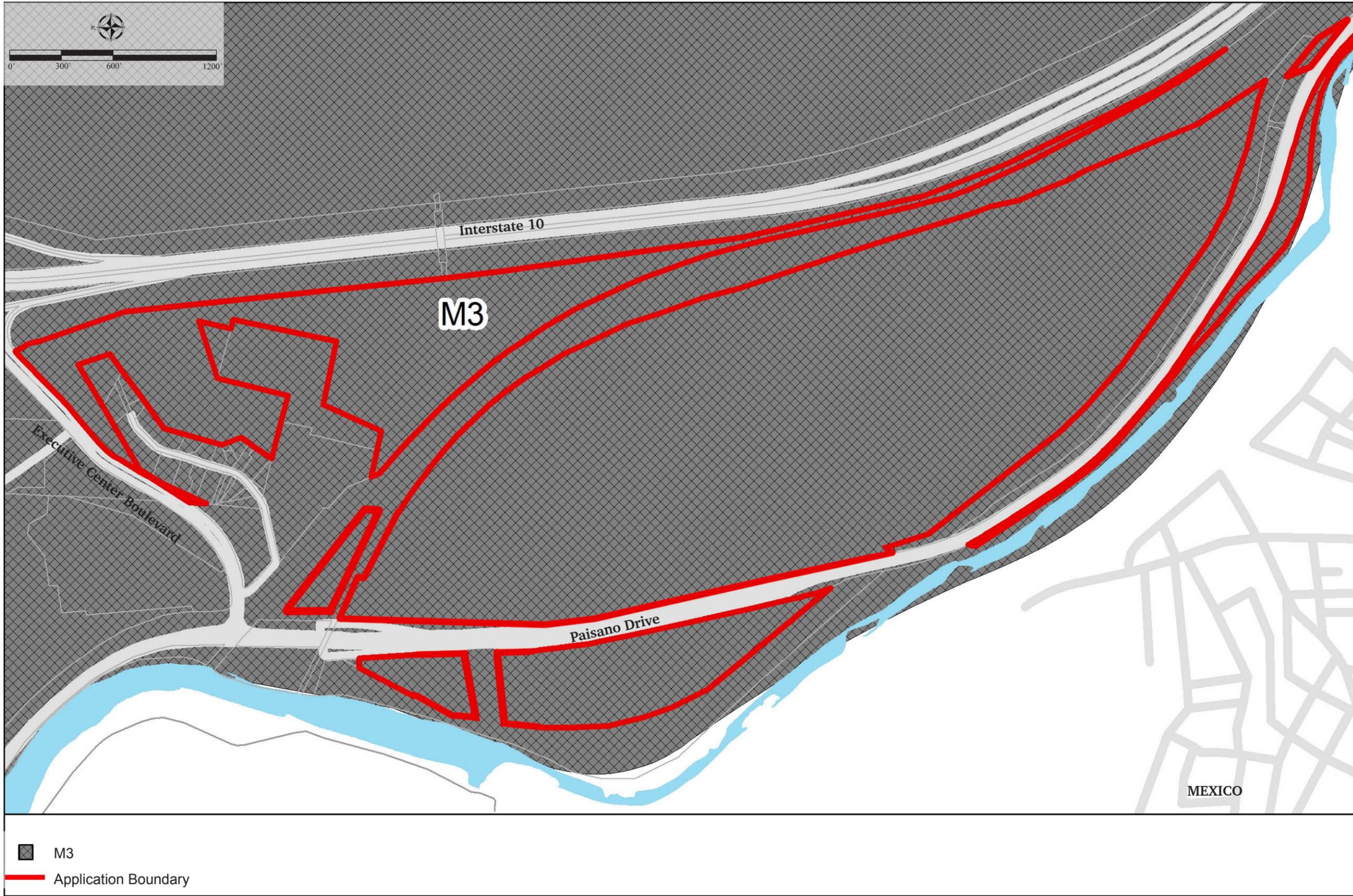
AERIAL
An aerial of the site shows its current heavy industrial character and proximity to Mexico.

SITE PLAN

Per section 21.10.040 must include:

- (B)(1) Site plan (see page 6)
- (B)(2) Copy of zoning map (see page 5)
- (B)(3-5) Proposed locations of transect zones including the locations of special districts, proposed throughfare networks and block layout (see page 7)
- (B)(7) Proof of notice of proposed application to any recognized neighborhood association





ZONING MAP

The zoning for the property is currently M3: Unrestricted Manufacturing District.

□ Per section 21.10.040 (B)(1), the legal description of the property should be on the site plan.

The legal description for ASARCO West is:

Barker Survey 10 Abstract #7, TR 2-A-2. PIDN: X0109990000250.

Barker Survey 10 Abstract #7 TR 2-C-1 PIDN: X0109990000220.

Barker Survey 10 Abstract #7 TR 2-A-1 PIDN: X0109990000230.

Barker Survey 10 Abstract #7, TR 24. PIDN: X01099900002400

Barker Survey 10 Abstract #7, TR 25 PIDN: X01099900002500

Harrison Survey 54, Abstract #2804. PIDN: X054999000E0700

Harrison Survey 54, Abstract #2804. PIDN: X054999000A5000

Harrison Survey 54, Abstract #2804. PIDN: X054999000A0100

Harrison Survey 54, Abstract #2804. PIDN: X054999000D0300

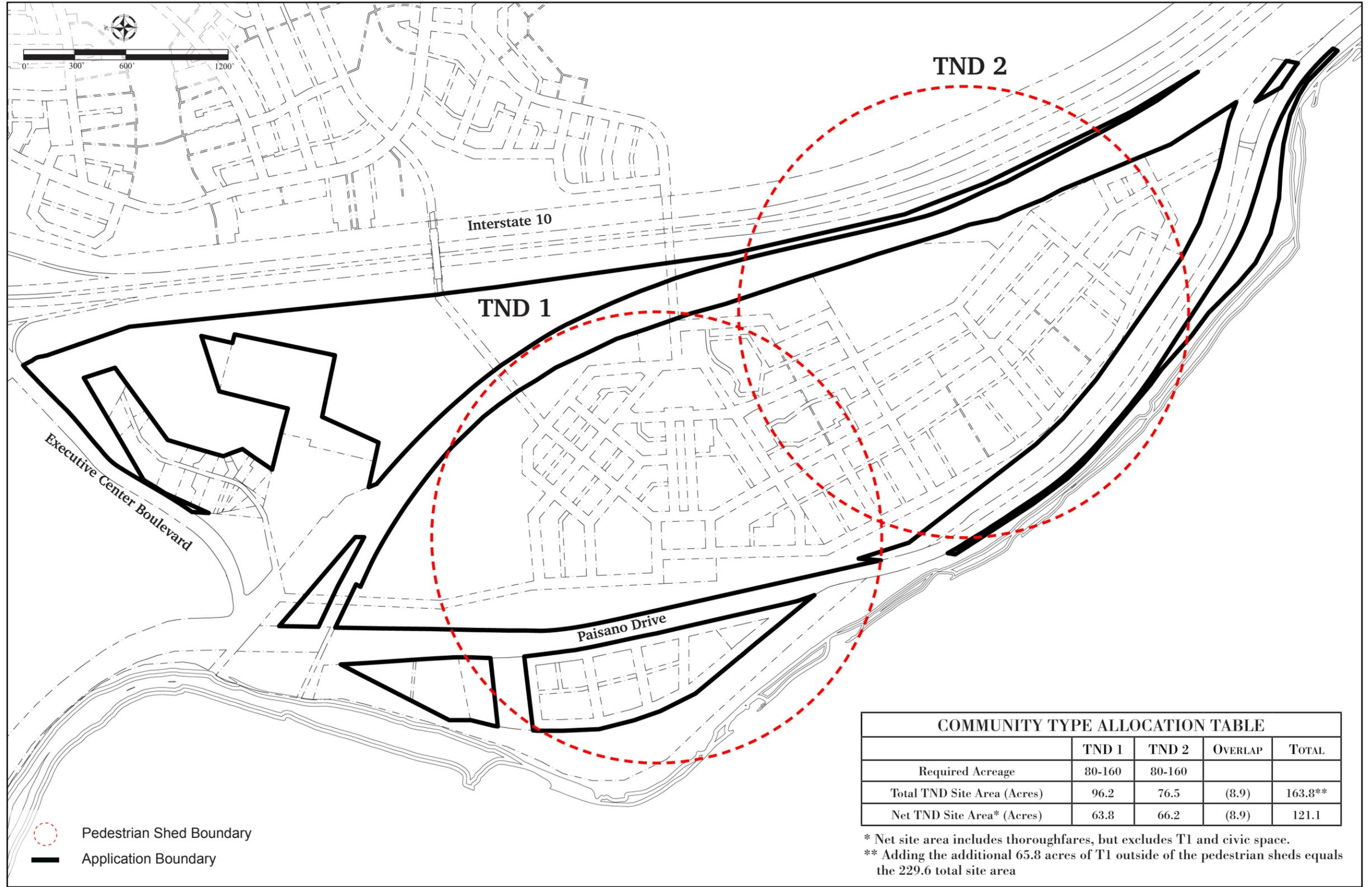
Located in Tract 14, Block 100.

PROJECT SIZE & BOUNDARY

- Identify application type (see below)
- Identify pedestrian shed(s)
Pedestrian shed requirements for a TND are set forth in sections 21.30.030 (B)
- Identify community type (see below)
- Identify project boundaries based on pedestrian shed
- Compliance with minimum continuous acreage requirements for selected community type(s) per sections 21.30.030 and 21.40:
For TNDs: "A Traditional Neighborhood Development (TND) shall be structured by one standard or linear pedestrian shed and shall be no fewer than eighty acres and no more than one hundred and sixty acres."
** Modification request for compliance with minimum continuous acreage requirements for selected community type(s) per sections 21.30.030 and 21.40. Per 21.30.100(B)(1)(a), by Warrant, a modification is requested to reduce continuous acreage requirements, attributable to environmental restrictions of a designated Brownfield site.*
- Compliance with allocation of land outside pedestrian sheds:
For new communities, per section 21.30.020 (G) : "Any remnants of the site outside the pedestrian sheds shall be assigned to transect zones T1 through T3, civic space or special districts."

PROJECT DATA

PROJECT NAME: ASARCO West
 APPLICATION TYPE: New Community
 COMMUNITY TYPE: Traditional Neighborhood Development with Residential Restrictions
 TOTAL SITE AREA: 229.6 acres
 NET SITE AREA: 121.1 acres
 PEDESTRIAN SHED: 2 pedestrian sheds

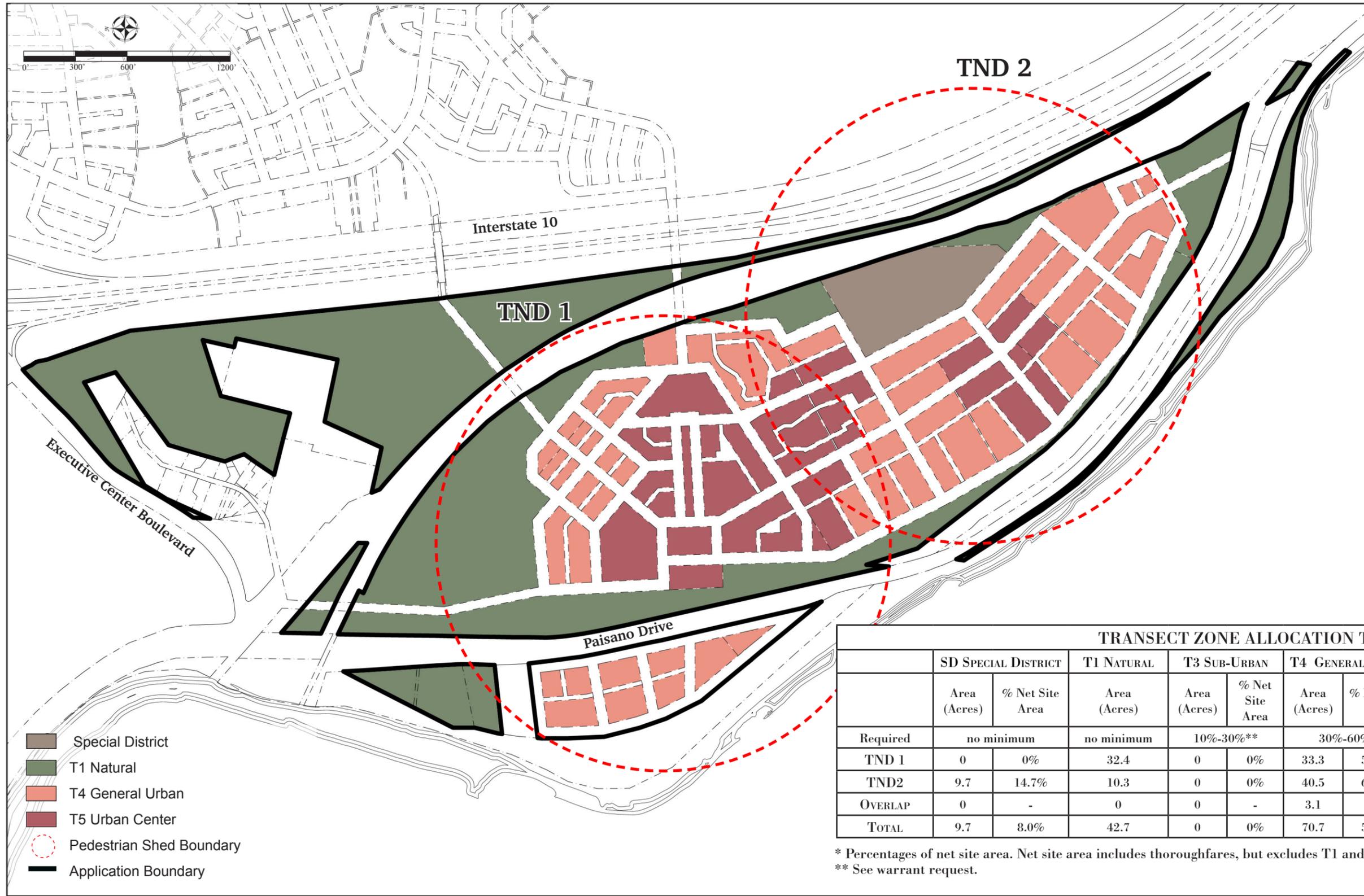


○ Pedestrian Shed Boundary
 — Application Boundary

COMMUNITY TYPE ALLOCATION TABLE

	TND 1	TND 2	OVERLAP	TOTAL
Required Acreage	80-160	80-160		
Total TND Site Area (Acres)	96.2	76.5	(8.9)	163.8**
Net TND Site Area* (Acres)	63.8	66.2	(8.9)	121.1

* Net site area includes thoroughfares, but excludes T1 and civic space.
 ** Adding the additional 65.8 acres of T1 outside of the pedestrian sheds equals the 229.6 total site area



TRANSECT ZONE ALLOCATION

☐ Compliance with transect zone allocation requirements as set forth in 21.80.170 Table 14: Summary Table, section A.

* Modification request for compliance with 21.80.150, Table 12: Specific function and use: No residential uses or lodging uses shall be allowed under this application. Per 21.30.100(B)(1)(b), by Warrant, a modification is requested to remove environmental restrictions, attributable to environmental restrictions of a designated Brownfield site.

* Modification request for compliance with transect zone allocation requirements as set forth in 21.80.170 Table 14: Summary Table, section A. Allocation of Zones for TND. Per 21.30.100(B)(1)(c), by Warrant, a modification is requested to reduce T3 allocation to zero percent and adjust other allocation requirements accordingly, attributable to environmental restrictions of a designated Brownfield site.

☐ Compliance with the requirement that areas outside the pedestrian sheds are T1, T2, T3, a special district or civic space per section 21.30.020 (G).

TRANSECT ZONE ALLOCATION TABLE

	SD SPECIAL DISTRICT		T1 NATURAL	T3 SUB-URBAN		T4 GENERAL URBAN		T5 URBAN CENTER		TOTAL	
	Area (Acres)	% Net Site Area	Area (Acres)	Area (Acres)	% Net Site Area	Area (Acres)	% Net Site Area	Area (Acres)	% Net Site Area	Net Site Area (Acres)	Total Site Area (Acres)
Required	no minimum		no minimum	10%-30%**		30%-60%*		10%-30%*			
TND 1	0	0%	32.4	0	0%	33.3	52.2%	30.5	47.8%	63.8	96.2
TND2	9.7	14.7%	10.3	0	0%	40.5	61.1%	16.0	24.2%	66.2	76.5
OVERLAP	0	-	0	0	-	3.1	-	5.7	-	8.9	8.9
TOTAL	9.7	8.0%	42.7	0	0%	70.7	58.2%	40.8	33.6%	121.1	163.8

* Percentages of net site area. Net site area includes thoroughfares, but excludes T1 and civic space.

** See warrant request.

MAXIMUM BLOCK SIZE

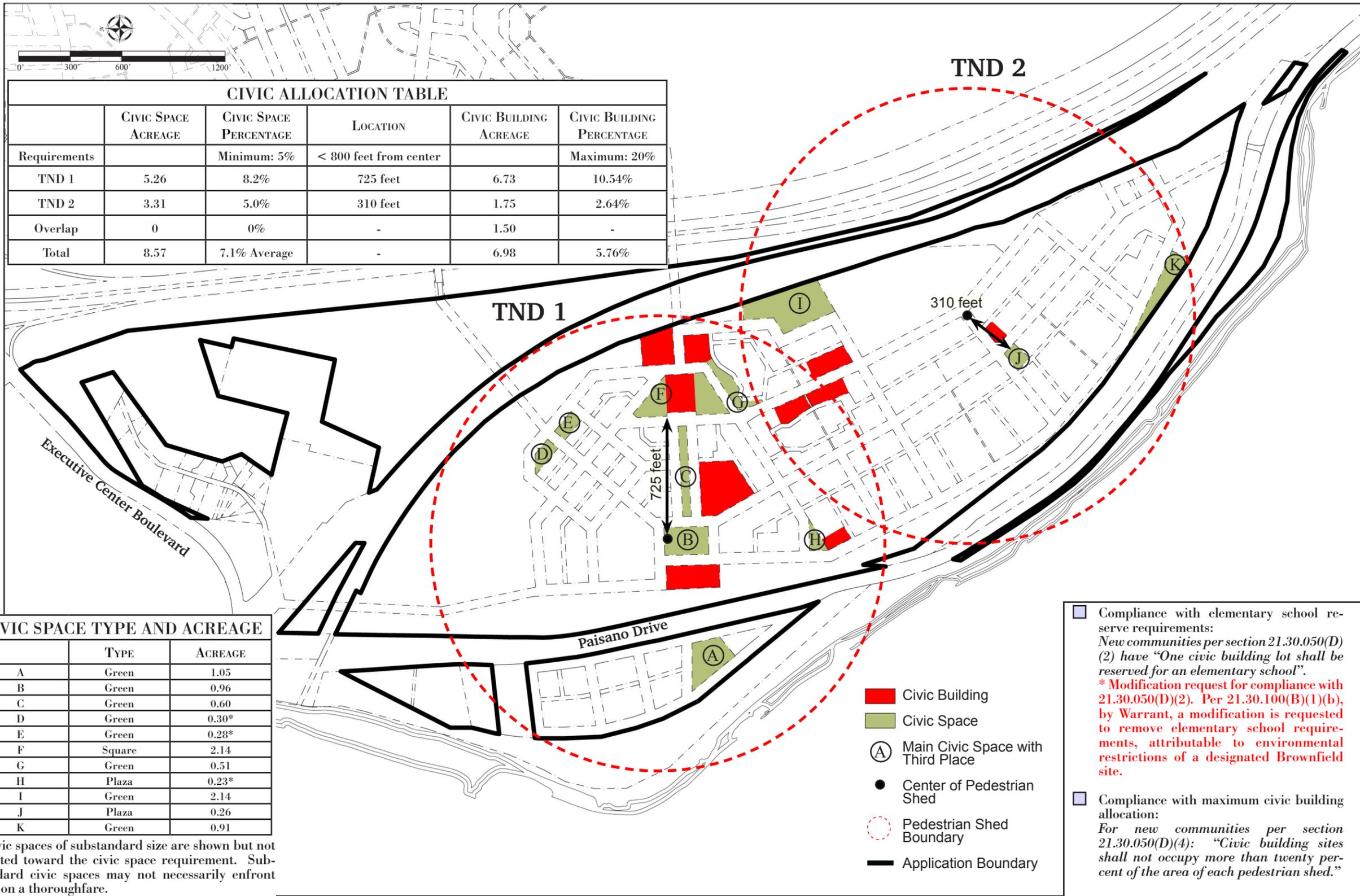
■ Compliance with maximum block size requirements as set forth in 21.80.170 Table 14: Summary Table, section C:

Maximum allowable block perimeter:
 Special District - no max
 T2 - no max
 T3 - 3000' max
 T4 - 2400' max
 T5 - 2000' max

Note that when a block carries more than one transect designation, it must comply with the more restrictive maximum block size requirement. For example, a block with T4 and T5 transect designations must comply with the T5 maximum block size requirement.

** Note: Containment cells shall be provided for with restrictive covenants placed on these areas as part of a separate process.*





CIVIC ALLOCATION TABLE

	CIVIC SPACE ACREAGE	CIVIC SPACE PERCENTAGE	LOCATION	CIVIC BUILDING ACREAGE	CIVIC BUILDING PERCENTAGE
Requirements		Minimum: 5%	< 800 feet from center		Maximum: 20%
TND 1	5.26	8.2%	725 feet	6.73	10.54%
TND 2	3.31	5.0%	310 feet	1.75	2.64%
Overlap	0	0%	-	1.50	-
Total	8.57	7.1% Average	-	6.98	5.76%

CIVIC SPACE TYPE AND ACREAGE

	TYPE	ACREAGE
A	Green	1.05
B	Green	0.96
C	Green	0.60
D	Green	0.30*
E	Green	0.28*
F	Square	2.14
G	Green	0.51
H	Plaza	0.23*
I	Green	2.14
J	Plaza	0.26
K	Green	0.91

* Civic spaces of substandard size are shown but not counted toward the civic space requirement. Substandard civic spaces may not necessarily enfront 50% on a thoroughfare.

CIVIC SPACE & BUILDINGS

- ☐ Compliance with civic space allocation:
For new communities, section 21.30.050(C)(1) states: "Each pedestrian shed shall assign at least five percent of its urbanized area to civic space."
- ☐ Compliance with main civic space requirement:
For new communities, section 21.30.050(C)(4) and 21.80.160 Table 13: Civic space, state: "Each pedestrian shed shall contain at least one main civic space. The main civic space shall be within eight hundred feet of the geographic center of each pedestrian shed."
- ☐ Compliance with playground allocation requirements.
For new communities, per section 21.30.050(c)(5): "Within eight hundred feet of every lot in residential use, a civic space designated and equipped as a playground shall be provided."
* Modification request for compliance with 21.30.050(C)(5), Civic zones. Per 21.30.100(B)(1)(b), by Warrant, a modification is requested to remove playground requirements, attributable to environmental restrictions of a designated Brownfield site.
- ☐ Compliance with civic space frontage requirements:
For new communities, per section 21.30.050(C)(6): "Each civic space shall have a minimum of fifty percent of its perimeter enfronting a thoroughfare, except for playgrounds."
- ☐ Compliance with elementary school reserve requirements:
New communities per section 21.30.050(D)(2) have "One civic building lot shall be reserved for an elementary school".
* Modification request for compliance with 21.30.050(D)(2). Per 21.30.100(B)(1)(b), by Warrant, a modification is requested to remove elementary school requirements, attributable to environmental restrictions of a designated Brownfield site.
- ☐ Compliance with maximum civic building allocation:
For new communities per section 21.30.050(D)(4): "Civic building sites shall not occupy more than twenty percent of the area of each pedestrian shed."
- ☐ Compliance with civic space minimum size requirements:
Per section 21.80.160 Table 13 the minimum size of civic space is .5 acres except for plazas that have a minimum size of .25 acres and playgrounds that have no minimum size.
* Note that civic spaces of substandard size are shown but not counted toward the civic space requirement.
- ☐ Compliance with civic building requirements:
New communities per section 21.30.050(D)(1) should have "a meeting hall or a third place in proximity to the main civic space of each pedestrian shed."

SPECIAL REQUIREMENTS

Compliance with special requirements for shopfronts:

For new communities, per section 21.30.090 (A)(2): "A designation for mandatory and/or recommended retail frontage requiring or advising that a building provide a shopfront at sidewalk level along the entire length of the frontage..."

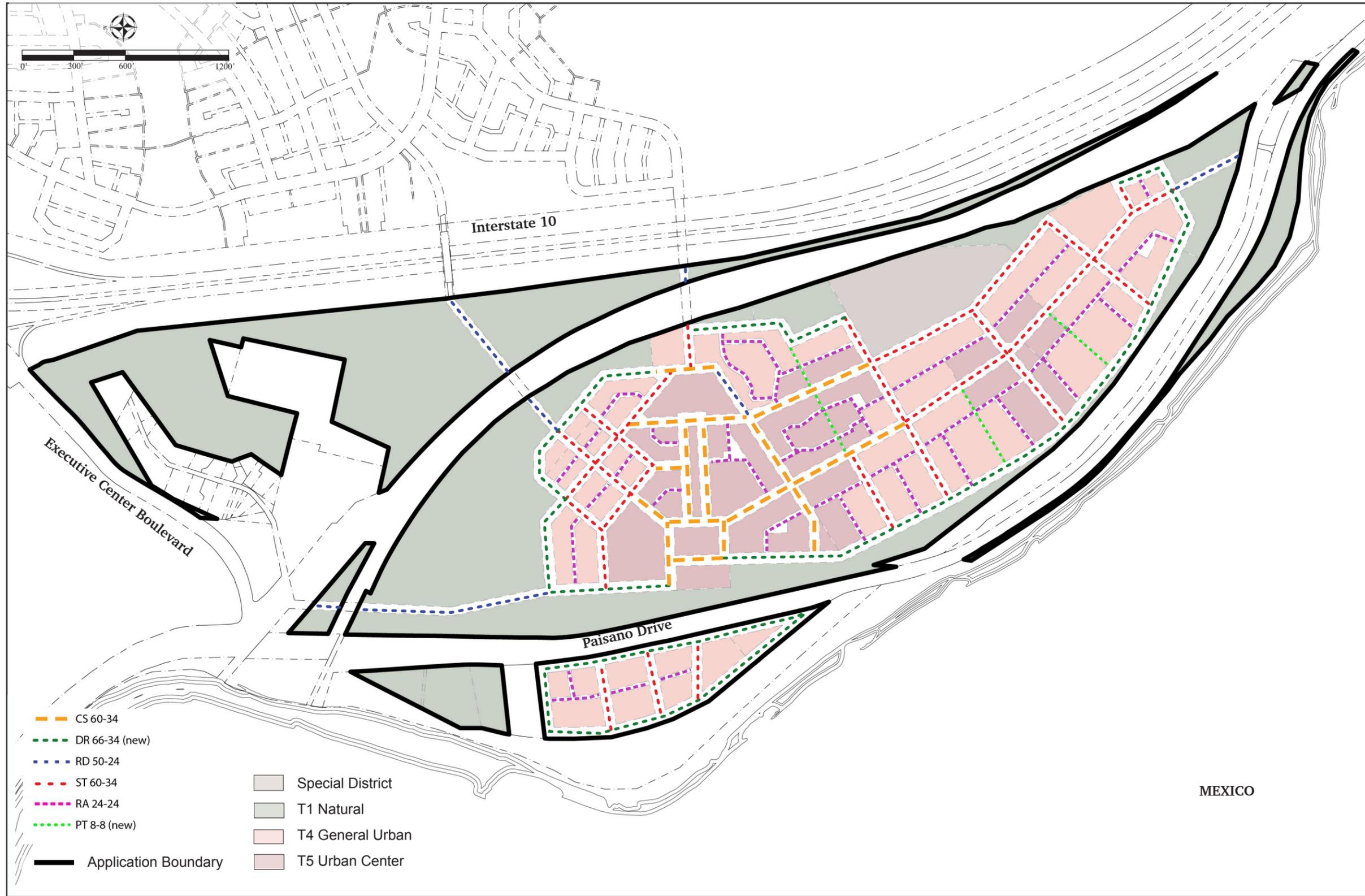
The locations indicated are a recommendation.

Compliance with special requirements for terminated vistas:

For new communities, per section 21.30.090 (A)(6): "Designation for mandatory and/or recommended terminated vistas locations, requiring or advising that the building be provided with architectural articulation of a type and character that responds visually to the location, as approved by the CRC."

The locations indicated are a recommendation.





THOROUGHFARE ASSIGNMENT

- Compliance with thoroughfare termination and cul-de-sac limitation as set forth in section 21.30.070(A)(6):

“All thoroughfares shall terminate at other thoroughfares, forming a network. Internal thoroughfares shall connect wherever possible to those on adjacent sites. Cul-de-sacs are explicitly discouraged and shall be subject to approval by warrant to accommodate specific site conditions only.”

Number of Culs-de-sacs: None

- Compliance with required percentage of lots fronting thoroughfares as set forth in section 21.30.070(A)(7):

“Each lot shall front a vehicular thoroughfare, except that twenty percent of the lots within each transect zone may front a passage.”

Number of lots fronting a passage: None

DENSITY CALCULATIONS

Compliance with 21.30.080(B)
 “Density shall be expressed in terms of housing units per acre as specified for the area of each Transect Zone by Table 14b.”

WARRANT REQUESTS

The application is compliant with Chapter 21 pending the following warrants:

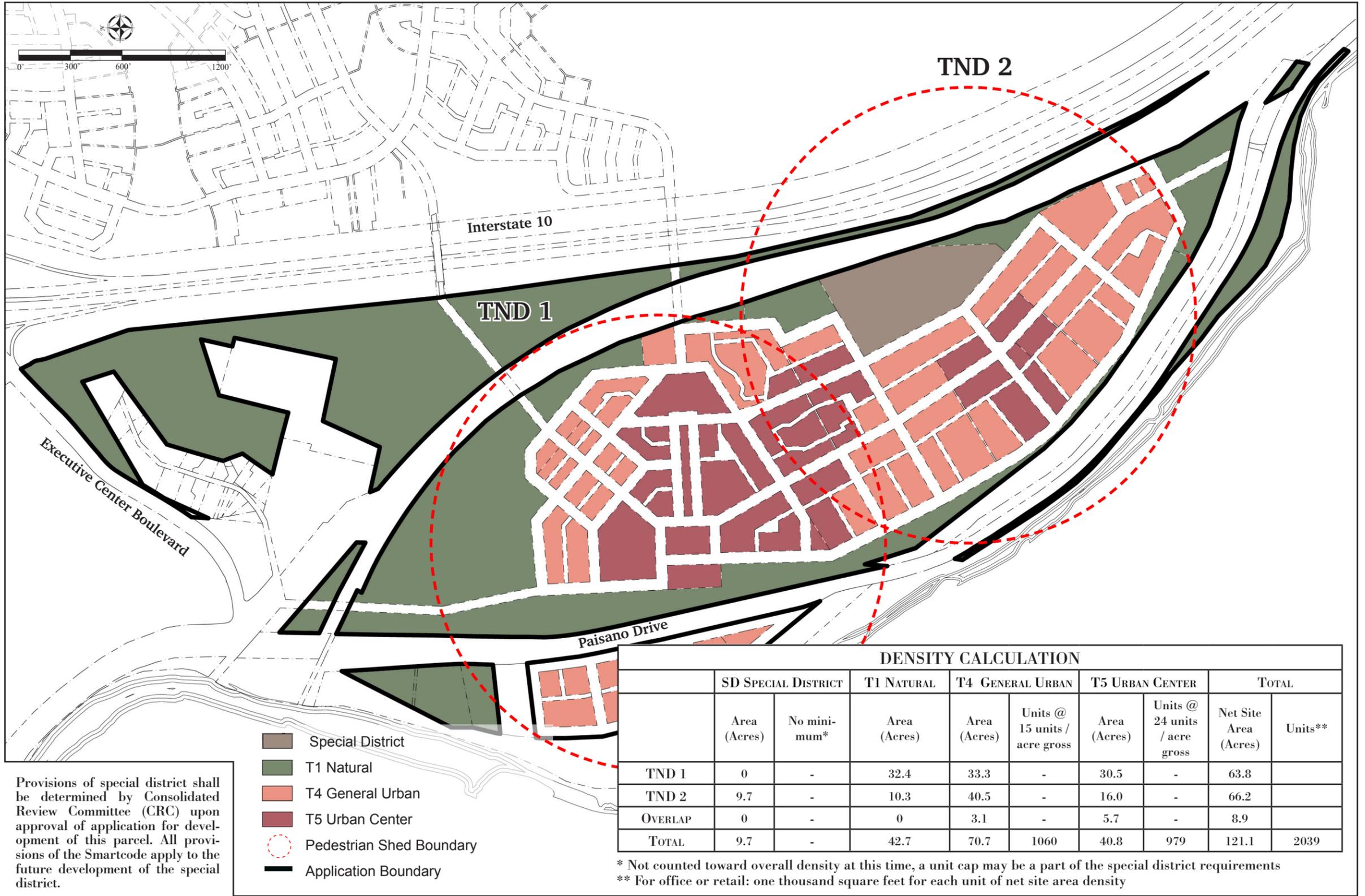
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Modification request for compliance with 21.30.050(D)(2). Per 21.30.100(B)(1)(b), by Warrant, a modification is requested to remove elementary school requirements, attributable to environmental restrictions of a designated Brownfield site.



Provisions of special district shall be determined by Consolidated Review Committee (CRC) upon approval of application for development of this parcel. All provisions of the Smartcode apply to the future development of the special district.

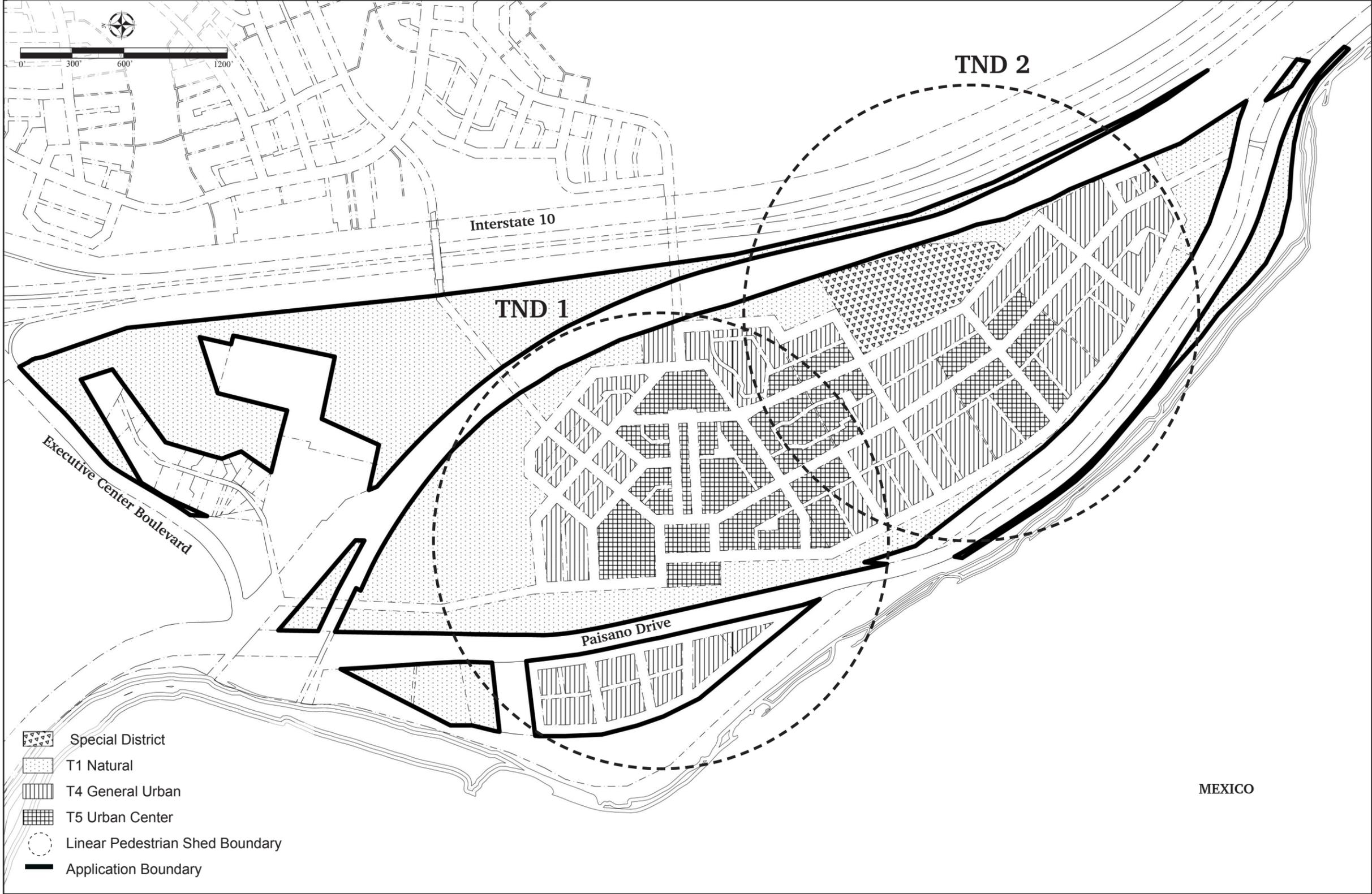
- Special District
- T1 Natural
- T4 General Urban
- T5 Urban Center
- Pedestrian Shed Boundary
- Application Boundary

DENSITY CALCULATION

	SD SPECIAL DISTRICT		TI NATURAL	T4 GENERAL URBAN		T5 URBAN CENTER		TOTAL	
	Area (Acres)	No minimum*	Area (Acres)	Area (Acres)	Units @ 15 units / acre gross	Area (Acres)	Units @ 24 units / acre gross	Net Site Area (Acres)	Units**
TND 1	0	-	32.4	33.3	-	30.5	-	63.8	
TND 2	9.7	-	10.3	40.5	-	16.0	-	66.2	
OVERLAP	0	-	0	3.1	-	5.7	-	8.9	
TOTAL	9.7	-	42.7	70.7	1060	40.8	979	121.1	2039

* Not counted toward overall density at this time, a unit cap may be a part of the special district requirements

** For office or retail: one thousand square feet for each unit of net site area density



ADDITIONAL ASSEMBLIES

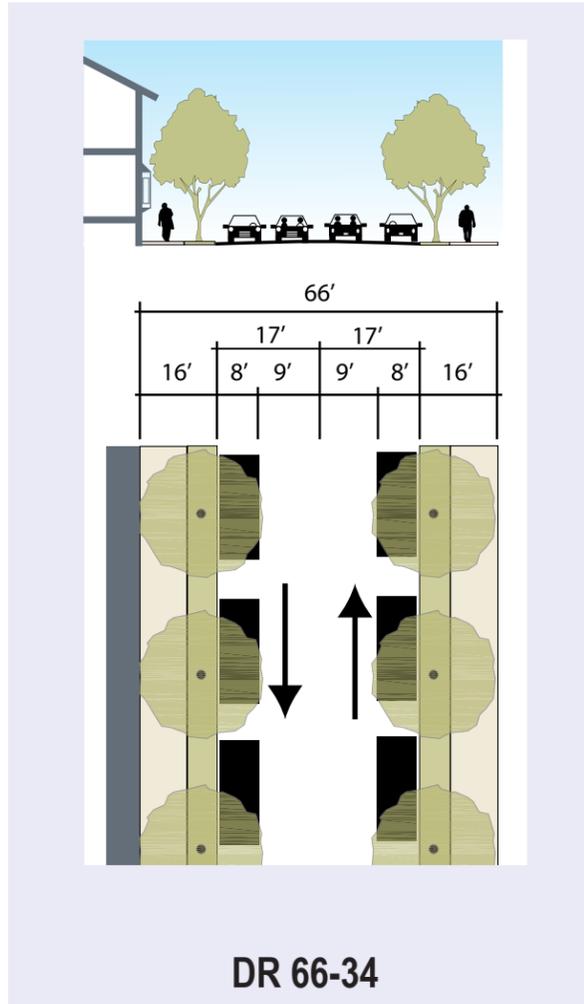
All additional thoroughfare assemblies comply with 21.80.030, Table 3A and Table 3B.

Notes:
Pavement width includes curb and gutter where present, and is measured from face of curb to face of curb.

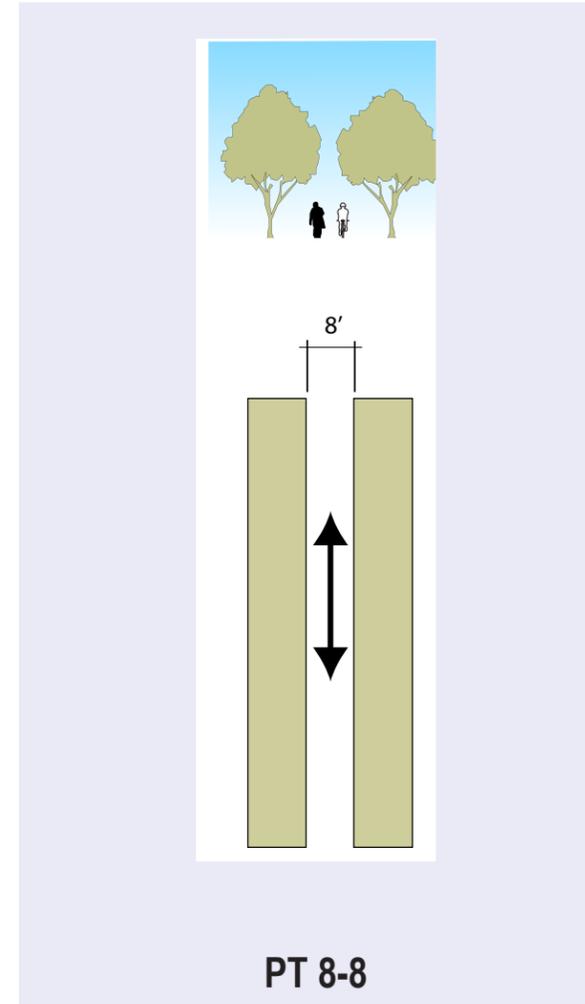


THOROUGHFARE TYPES

- BV: Boulevard
- AV: Avenue
- CS: Commercial Street
- DR: Drive
- ST: Street
- RD: Road
- RA: Rear Alley
- RL: Rear Lane
- BT: Bicycle Trail
- BL: Bicycle Lane
- BR: Bicycle Route
- PT: Path
- TR: Transit Route



DR 66-34



PT 8-8

Thoroughfare Type
Transect Zone
Right-of-Way Width
Pavement Width
Movement
Vehicular Design Speed
Pedestrian Crossing Time
Traffic Lanes
Parking Lanes
Curb Radius
Public Frontage Type
Walkway Type
Planter Type
Curb Type
Landscape Type
Transportation Provision

Drive
T3, T4, T5, T6
66 feet
34 feet
Slow Movement
25 MPH
9.9 Seconds
2 lanes
8 feet (both sides)
15 feet
Varies by Transect
8 foot sidewalk
8 foot Continuous Planter
Curb
Trees at 30 feet o.c. Average
NA

Pedestrian
T2, T3, T4, T5
8 feet
8 feet
Pedestrian Movement
NA
NA
NA
None
NA
Varies by Transect
8 foot sidewalk
None
None
Varies
NA